



Kennoldes, Croxted Road, SE21 | £350,000

02087028111

[dulwichvillage@pedderproperty.com](mailto:dulwichvillage@pedderproperty.com)

**pedder**  
We live local





## In General

- A charming one-bedroom apartment located in the heart of West Dulwich.
- Upgraded and modernised creating very well presented accommodation
- One bedroom
- Open-plan lounge/dining room/kitchen
- Separate study
- Modern bathroom
- Spacious private roof terrace
- Central location close to amenities and transport links
- Offered with no onward chain

## In Detail

A charming one-bedroom apartment located in the heart of West Dulwich.

The property has been upgraded and modernised by the current owner and is very well-presented throughout. The accommodation comprises of an open-plan lounge/dining/kitchen, double bedroom, bathroom and separate study. One of the highlights of this property is the delightful private roof terrace with ample space for a table and chairs.

Situated in a central location, this apartment offers convenience at your doorstep with easy access to local amenities. Dulwich Village is close-by with its popular parks ,cafes, boutiques and restaurants. Rail links are from nearby West Dulwich offering to Victoria and Blackfriars. Bus route into central London run along Croxted Road.

The property is offered with no onward chain.

EPC: E | Council Tax Band: A | Lease: 90 years remaining | SC: £2,002.82 | GR: £10 pa | Buildings Insurance: Included in SC

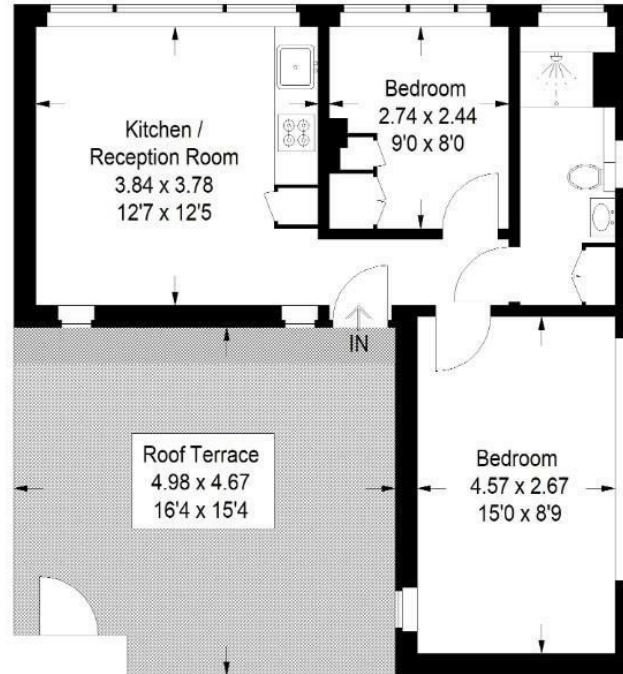




# Floorplan

## Kennoldes SE21

Approximate Gross Internal Area  
43.0 sq m / 463 sq ft



### First Floor

Copyright www.pedderproperty.com © 2024

These plans are for representation purposes only as defined by RICS - Code of Measuring Practice. Not drawn to Scale. Windows and door openings are approximate. Please check all dimensions, shapes and compass bearings before making any decisions reliant upon them.

Pedder Property Ltd trading as Pedder for themselves and for the vendor/landlord of this property whose agents they are, give notice that (1) these particulars do not constitute any part of an offer or contract, (2) all statements contained within these particulars are made without responsibility on the part of Pedder or the vendor/landlord, (3) whilst made in good faith, none of the statements contained within these particulars are to be relied upon as a statement of representation or fact, (4) any intending purchaser/tenant must satisfy him/herself by inspection or otherwise as to the correctness of each of the statements contained within these particulars, (5) the vendor/landlord does not make or give either Pedder or any person in their employment any authority to make or give representation or warranty whatsoever in relation to this property.

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
102 plus) A			
81-101) B			
69-80) C			
55-68) D			
39-54) E	43		62
21-38) F			
1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	