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7 Ashbourne Avenue, Middleton



- Well Presented THREE Bed Quasi Semi Detached
- Gas Central Heated / uPVC Double Glazed Windows
- Sunshine Lounge / Fitted Kitchen / Three-Piece Bathroom
- Driveway And Rear Lawned Garden With Patio Areas

£200,000

Well presented THREE bed quasi semi detached with a feature block paved driveway affording off road parking and a large enclosed lawned garden with patio areas to the rear. Briefly comprising of gas central heating, uPVC double glazed windows, sunshine lounge and kitchen to the ground floor. The first floor affords three bedrooms and a three-piece bathroom. Externally to the front is a block paved driveway providing off road parking and gated access down the side leading to a shingle patio leading out to the lawned garden and a further stone patio at the foot. Situated for convenient access to Middleton town centre and its range of shops and facilities, transport links and ideal for the M60 motorway network.

GROUND FLOOR

VESTIBULE

Vestibule entrance with radiator and staircase rising to the first floor.

SUNSHINE LOUNGE

7.0m x 3.56m (22'11" x 11'8")

Front aspect with bay window, T.V point, laminated flooring and radiator. Sliding patio doors lead to the rear garden. Access to kitchen.



KITCHEN

3.22m x 1.86m (10'6" x 6'1")

Rear aspect with a range of wall and base units incorporating circular stainless steel sink, cooker point with extractor above, space and plumbing for an automatic washing machine, laminated wooden flooring and external access.

FIRST FLOOR

BEDROOM 1

2.89m x 2.80m (9'5" x 9'2")

Front aspect with laminated wooden flooring and radiator.



BEDROOM 2

3.0m x 2.84m (9'10" x 9'3")

Rear aspect with fitted wardrobes, wall mounted T.V point and radiator.



BEDROOM 3

3.29m x 2.67m (10'9" x 8'9")

Front aspect with carpet flooring and radiator.



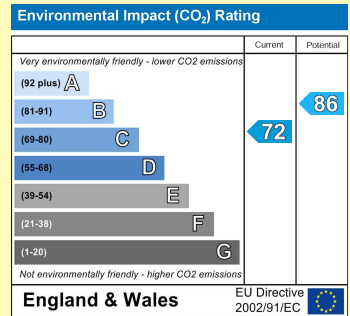
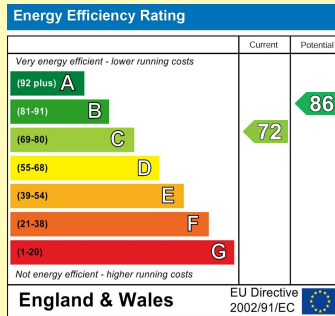
BATHROOM

Three-piece bathroom comprising of "P" shaped bath with shower above, vanity wash-basin with fitted cupboard below and attached low-level W.C, heated towel rail, fully tiled walls and flooring.



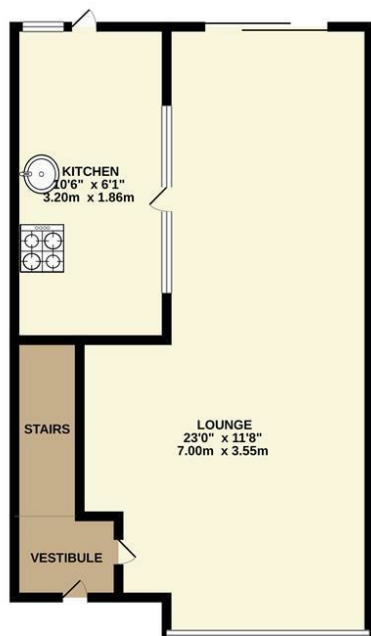
OUTSIDE

Externally to the front is a block paved driveway providing off road parking and gated access down the side leading to a shingle patio leading out to the lawned garden and a further stone patio at the foot.

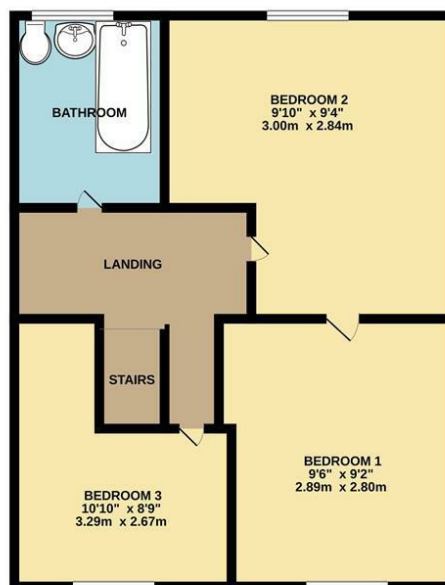


PLEASE NOTE: We have not checked the efficiency or operation of any services (Gas, Water, Electricity or Drainage) or any electrical, mechanical or heating appliances. All measurements taken via a sonic measure. Measurements should only be used as a guide and not for ordering any floor coverings or carpets. **Viewing Strictly By Appointment Only**

GROUND FLOOR
342 sq.ft. (31.7 sq.m.) approx.



1ST FLOOR
408 sq.ft. (37.9 sq.m.) approx.



THREE BED QUASI SEMI

TOTAL FLOOR AREA : 750 sq.ft. (69.6 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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